

# PARK AVENUE GREEN LIVING MIXED-USE DEVELOPMENT

487 PARK AVENUE  
WORCESTER, MA 01603

## SHEET INDEX

No.	Title	Issue Date
C001	Cover Sheet	March 25, 2024
C101	Site Demo & Sediment and Erosion Control Plan	March 25, 2024
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C105	Landscaping Plan	March 25, 2024
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C502	Site Details - 2	March 25, 2024
C503	Site Details - 3	March 25, 2024
C504	Site Details - 4	March 25, 2024

## REFERENCE PLAN INDEX

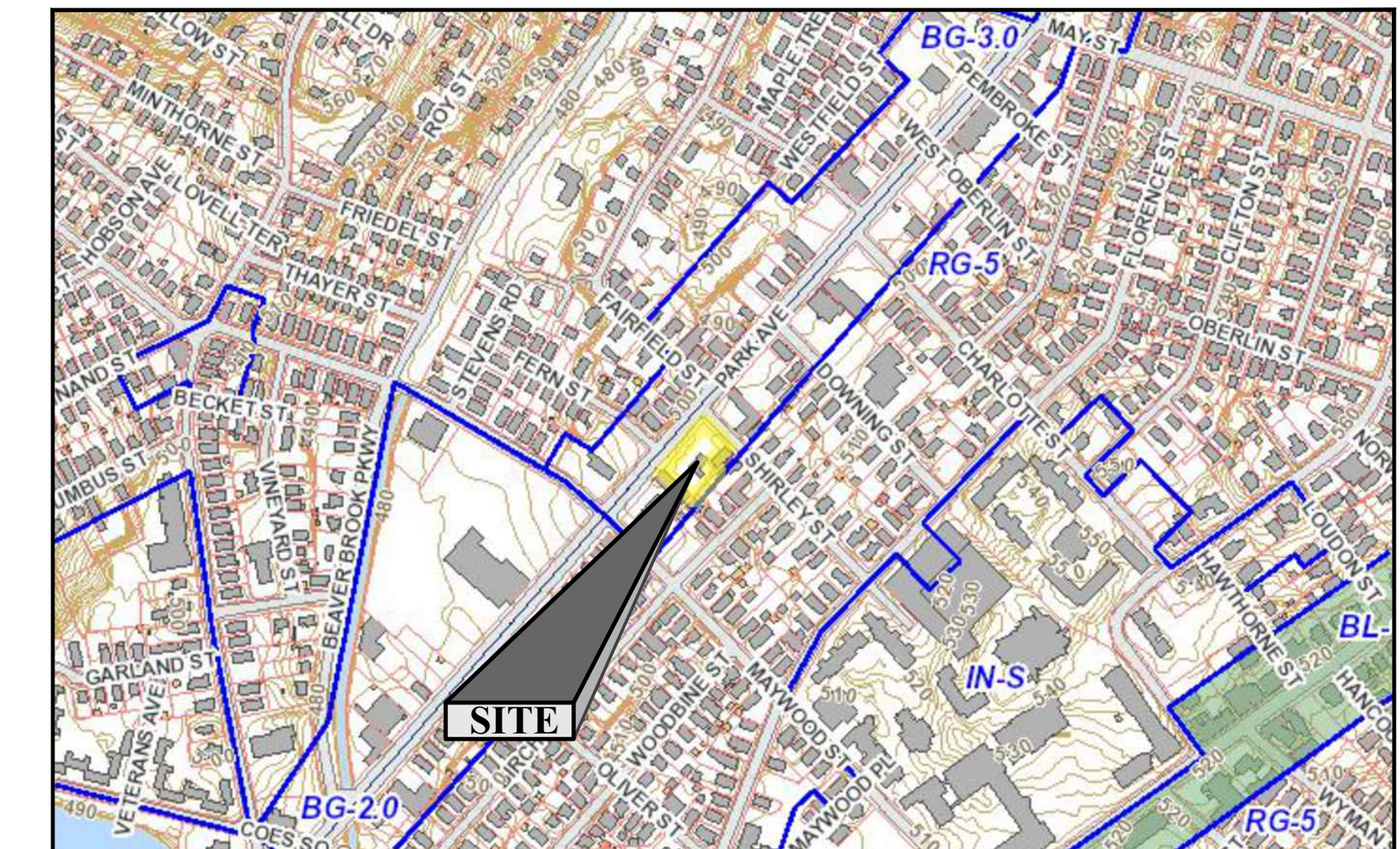
No.	Title	Issue Date
E1	Existing Conditions Plan (HS&T)	August 28, 2023

## REVISIONS/ISSUES

No.	Note	Date
1	Issued for Permitting	March 25, 2024



**LOCUS PLAN - AERIAL**  
SOURCE: GOOGLE EARTH SCALE: 1"=500'



**LOCUS PLAN - GIS**  
SOURCE: WORCESTER GIS SCALE: 1"=500'

### OWNER/APPLICANT

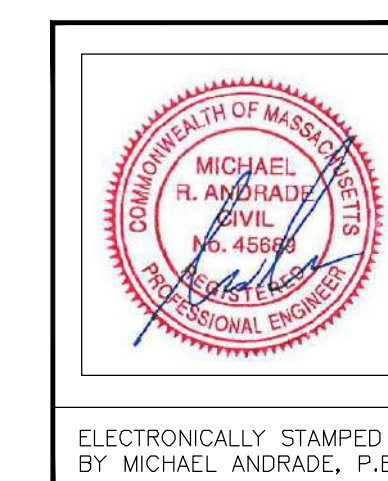
Gjinko Realty, LLC  
487 Park Avenue  
Worcester, MA 01610

### ARCHITECT

AA Design Services, LLC  
43 Monroe Avenue  
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ELECTRONICALLY STAMPED  
BY MICHAEL ANDRADE, P.E.



**PROJECT ZONING INFORMATION**

CRITERIA	REQUIRED	PROPOSED
USE	AUTO SALES (EXIST.)	MIXED USE
ZONING DISTRICT	BG-3.0	BG-3.0
OVERLAY DISTRICT	NONE	NONE
MINIMUM LOT AREA	5,000 SQ.FT.(1)	21,968 SQ. FT.
MINIMUM FRONTAGE	40 FT./DU (2)	194.41 FT. (3)
FRONT SETBACK	NA	0 FT.
SIDE SETBACK	NA	0 FT.
REAR SETBACK	10 FT.(4)	44.1 FT.
MAXIMUM BLDG. STORIES	NA	6
MAXIMUM BLDG. HEIGHT	100 FT.	75 FT.
BLDG. LOT COVERAGE	N/A	32.9%
MAXIMUM F.A.R.	3:1	1.8:1
LANDSCAPE PARKING BUFFER	5 FT.	2 FT. (5)
LOT IMPERVIOUS COVERAGE	93%	88%
RECREATION AREA	10% OF LOT AREA	3,856 SQ.FT. (17.5%) (6)

ZONING INFORMATION SOURCE: THE ABOVE INFORMATION WAS OBTAINED FROM THE CITY OF WORCESTER ZONING ORDINANCE, AMENDED THROUGH MAY 9, 2023.

**FOOTNOTES:**

- (1) 5,000 SQ.FT. REQ'D FOR RESIDENTIAL USE, NA FOR NON-RESIDENTIAL USE.
- (2) MAX. 200 FT. REQUIRED FOR RESIDENTIAL USE; NA FOR NON-RESIDENTIAL USE.
- (3) RELIEF SOUGHT FOR OF 5.59 FEET OF FRONTAGE (SEE TABLE THIS SHEET).
- (4) 10 FT. REQUIRED FOR BOTH RESIDENTIAL AND NON-RESIDENTIAL USE.
- (5) RELIEF SOUGHT FOR REDUCTION OF LANDSCAPE PARKING BUFFER (SEE TABLE THIS SHEET).
- (6) RECREATION AREA INCLUDES INTERIOR COMMON SPACES AND EXTERIOR AREAS OUTSIDE OF THE PARKING BUFFER.

**SHEET NOTES**

- 1) ALL DIMENSIONS ARE MEASURED FROM TOE OF CURB OR CENTER OF PAINTED LINE.
- 2) THE CONTRACTOR SHALL COORDINATE WITH PLANS BY OTHERS (ARCHITECTURAL, STRUCTURAL, MEP, ETC.)
- 3) PAVEMENT MARKINGS SHALL BE PAINTED WITH WHITE TRAFFIC PAINT CONFORMING TO SECTION M7.01.08 OF THE MASSDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION. LINE WIDTH SHALL BE 4 INCHES. HANDICAP SYMBOL MARKINGS SHALL COMPLY WITH 521 CMR WITH WHITE SYMBOL ON BLUE BACKGROUND.
- 4) ALL JOINTS OF EXISTING & PROPOSED BITUMINOUS PAVEMENT SHALL BE SEALED WITH HOT RUBBERIZED ASPHALT JOINT SEALANT AND SANDED.
- 5) THE SITE CONTRACTOR SHALL COORDINATE WITH MECHANICAL/HVAC PLANS FOR ADDITIONAL EXTERIOR EQUIPMENT PADS THAT MAY NOT BE SHOWN ON THESE DRAWINGS.
- 6) THE CONTRACTOR SHALL WORK WITHIN THE PARK AVENUE AND SHIRLEY STREET RIGHT-OF-WAYS WITH THE CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS AND PARKS WITH REGARD TO THIS PROJECT'S WORK AND THE PROPOSED/CONSTRUCTED STREET IMPROVEMENTS.

**PROJECT RELIEF SOUGHT**

THE PROJECT SEEKS THE FOLLOWING APPROVALS FROM THE CITY OF WORCESTER:

**ZONING BOARD OF APPEALS:**

- 1) **VARIANCE** TO ALLOW FOR THE EXISTING FRONTAGE OF 194.41 FEET TO REMAIN IN LIEU OF THE REQUIRED 200 FEET.

**PLANNING BOARD:**

- 1) **SPECIAL PERMIT** TO FURTHER REDUCE PARKING BY 31 PARKING SPACES FOR A TOTAL OF 34 PROVIDED PARKING SPACES IN LIEU OF THE REQUIRED 65 PARKING SPACES (AFTER THE ART. VII REDUCTION).
- 2) **SPECIAL PERMIT** TO ALLOW FOR 50% OF THE PARKING SPACES TO BE COMPACT (ART. IV, SECTION 7, TABLE 4.4, NOTE 3).
- 3) **SPECIAL PERMIT** TO REDUCE THE LANDSCAPE BUFFER FROM THE REQUIRED 5 FEET TO 2 FEET FOR A PORTION OF THE PROJECT (ART. IV, SECTION 7, TABLE 4.4, NOTE 5).



**PARKING SCHEDULE**

USE	CALCULATION	PARKING REQUIREMENT
RESIDENTIAL - MULTI-FAMILY DWELLING	40 DU x 2 SPACES/DU	80 SPACES
AUTO SERVICE	2 BAYS x 1 SPACE/BAY	2 SPACES
BUSINESS - FOOD SERVICE	10 PERSONS x 0.5 SPACES/OCCUPANCY	5
<b>SUBTOTAL (BASE PARKING REQUIREMENT)</b>		<b>87 SPACES</b>
ARTICLE VII REDUCTION (SECTION 6.A.ii.a)	ALLOWED 25% REDUCTION	-22 SPACES
<b>SUBTOTAL (ADJUSTED PARKING REQUIREMENT)</b>		<b>65 SPACES</b>
<b>TOTAL PARKING PROVIDED</b>		<b>34 SPACES (1)(2)</b>

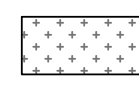
**NOTES:**

- (1) SEE TABLE THIS SHEET FOR PARKING RELIEF SOUGHT. ARTICLE VII PARKING REDUCTION IS AVAILABLE BASED ON THE PROJECT'S PROPOSED PERCENTAGE OF UNITS AVAILABLE AT THE REQUIRED AMI LIMITS PER THE BYLAW.
- (2) THE PROPOSED PARKING CONSISTS OF THE FOLLOWING:  
 15 STANDARD SPACES (9'x18')  
 17 COMPACT SPACES (8'x18') - 50%  
 2 VAN ACCESSIBLE HANDICAP SPACES (8'x18')  
 34 TOTAL SPACES

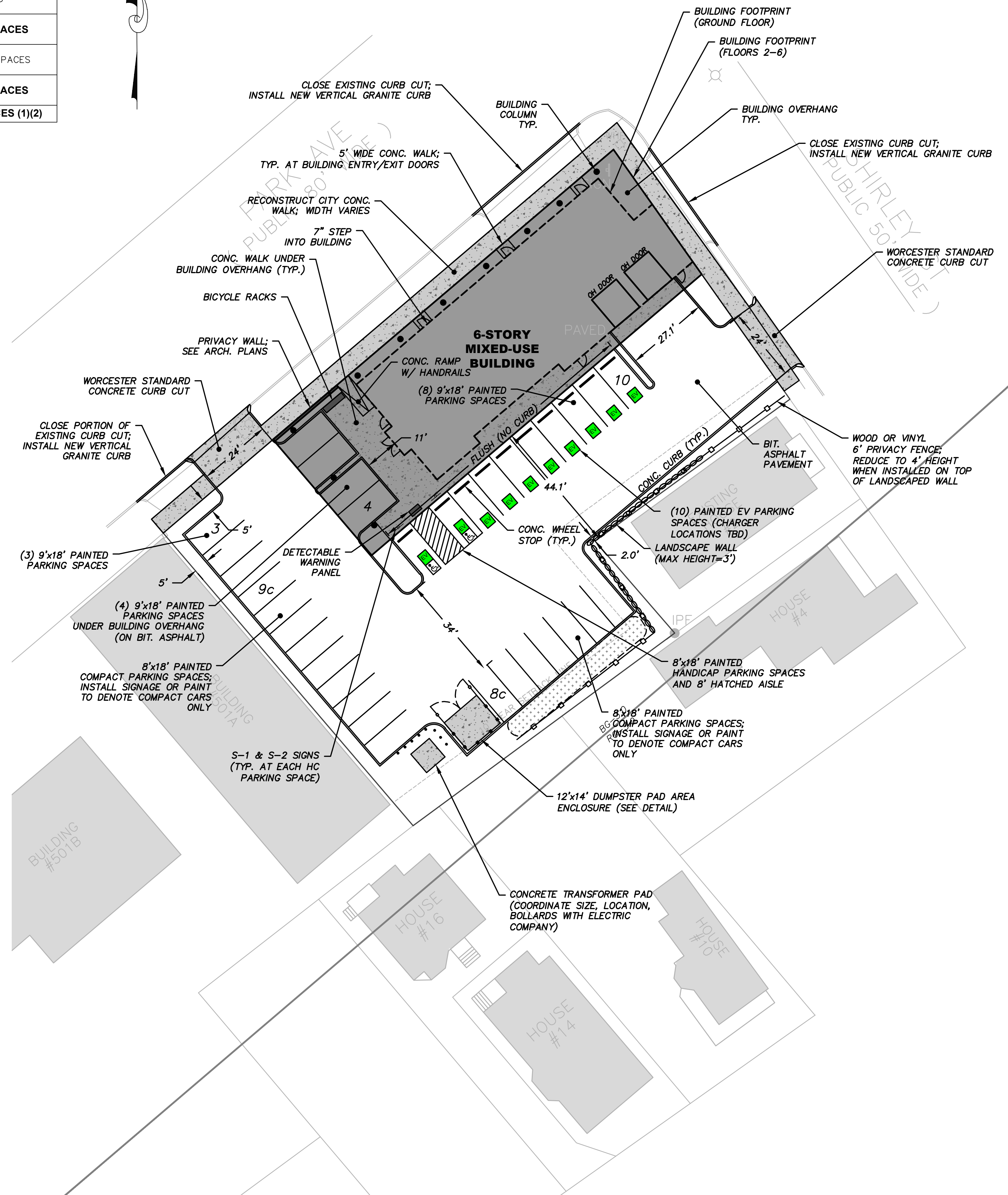
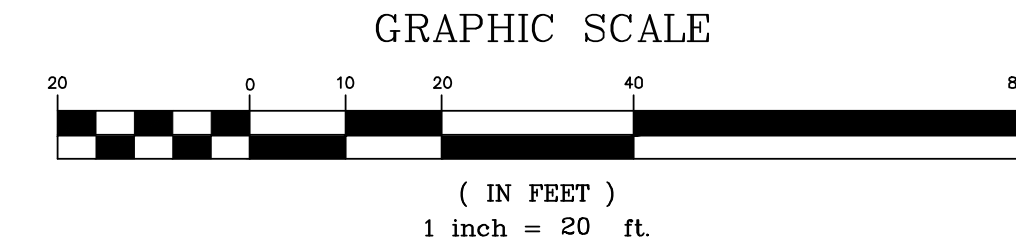
**SIGNAGE KEY**

GEI ID	FEDERAL ID	SIGN SIZE		SIGN LAYOUT	QUANTITY
		WIDTH	HEIGHT		
S-1	R7-8	12"	18"		2
S-2	R7-8a	12"	6"		2

**SNOW STORAGE NOTES**

SNOW SHALL BE STORED WITHIN AREAS AS SHOWN ON THIS SHEET DESIGNATED BY THIS HATCHING 

SNOW STORAGE LOCATIONS SHOWN REPRESENT THE MINIMUM NECESSARY AND THE OWNER SHALL EXPAND SUCH AREAS AS NEEDED. SNOW SHALL NOT BE PLACED SO AS TO INHIBIT VEHICLE SIGHT LINES FOR ENTERING AND EXITING THE SITE AND INTERNAL SITE CIRCULATION NOR PLACED TO INHIBIT SITE DRAINAGE. EXCESS SNOW SHALL BE HAULED OFF-SITE AS NECESSARY.



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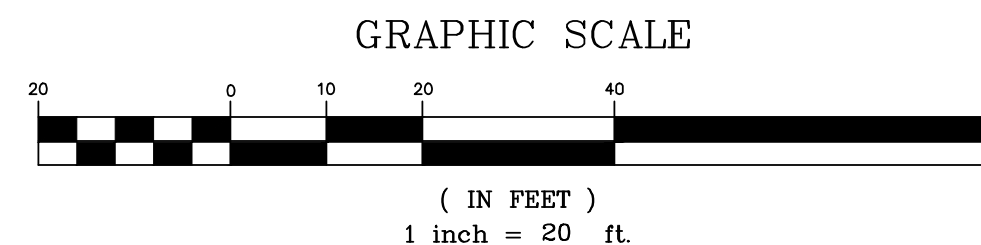
**LAYOUT PLAN**  
**PARK AVENUE GREEN LIVING - MIXED-USE DEVELOPMENT**  
 487 PARK AVENUE, WORCESTER, MA

PREPARED FOR: OLSI G/INKO  
 487 PARK AVENUE, WORCESTER, MA 01603

DATE: 03/25/24 SCALE: 1"=20'  
 DES. BY: DFS  
 DRW. BY: DFS  
 CHK. BY: MRA  
 PRL. NO.: 23125

SHEET NOTES

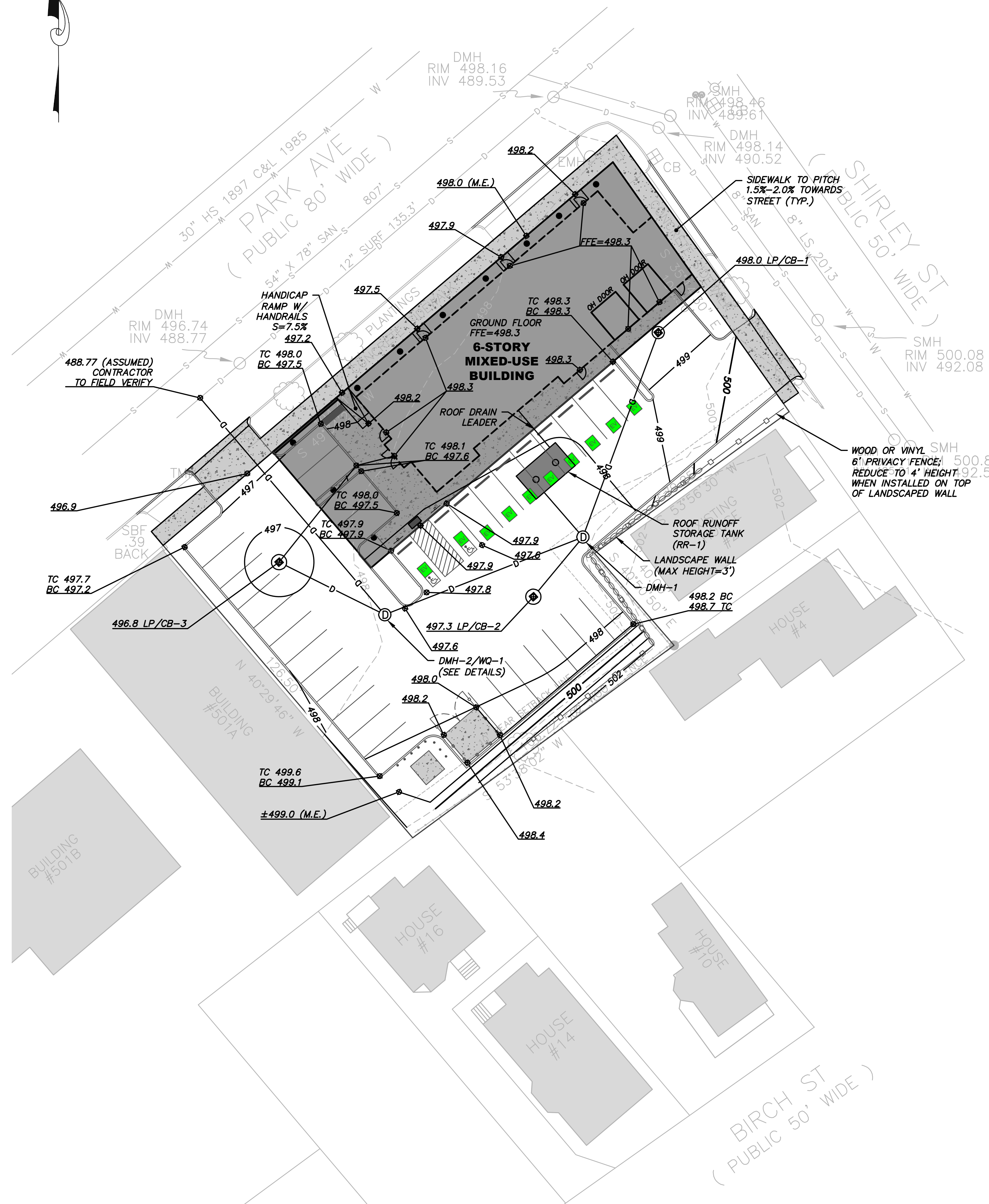
- 1) PROVIDE POSITIVE DRAINAGE IN ALL FINISH GRADED WORK AREAS INCLUDING AWAY FROM ALL BUILDINGS.
- 2) ADJUST ALL STRUCTURES TO PROPOSED FINISH GRADES WITHIN THE LIMIT OF WORK.
- 3) ALL DISTURBED AREAS OUTSIDE OF PAVEMENT SHALL BE RESTORED WITH 6 INCHES OF LOAM AND SEEDED OR LANDSCAPED IN ACCORDANCE WITH THE LANDSCAPING PLANS.
- 4) ALL FINISHED GRASSED SLOPES EQUAL TO OR GREATER THAN A 3:1 SLOPE SHALL BE STABILIZED WITH AN EROSION CONTROL MATTING SUCH AS SC-150 BY NORTH AMERICAN GREEN, CURLEX II BY AMERICAN EXCELSIOR, OR ENGINEER APPROVED EQUAL. COORDINATE MATTING LOCATIONS WITH THE LANDSCAPE PLANS AND GROUND COVER MATERIALS.
- 5) PROPOSED GRADES AS SHOWN SHALL BE CARRIED TO ALL PAVEMENT CORNERS HOWEVER GRADE ADJUSTMENTS SHALL BE MADE BY THE CONTRACTOR AS NECESSARY TO PROVIDE POSITIVE DRAINAGE FROM ALL CORNERS.
- 6) SPOT GRADE KEY:  
 (ME) = MATCH EXISTING GRADE  
 TC = TOP OF CURB FINISH GRADE  
 BC = BOTTOM OF CURB FINISH GRADE  
 FFE = BUILDING FINISH FLOOR ELEVATION  
 CB = CATCH BASIN  
 HP = HIGH POINT  
 LP = LOW POINT  
 TW = TOP OF WALL (FINISH GRADE)  
 BW = BOTTOM OF WALL (FINISH GRADE)
- 5) PRIOR TO WORK, THE CONTRACTOR SHALL VERIFY THE DEPTH OF COVER OVER THE EXISTING UNDERGROUND UTILITIES IN THE AREA OF THE PROPOSED WORK. IF ADEQUATE COVER IS NOT PRESENT TO THE PROPOSED FINISH GRADES, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER IMMEDIATELY BEFORE BEGINNING WORK IN THIS AREA.
- 6) HANDICAP RAMPS AND ACCESSIBLE ROUTES SHALL BE CONSTRUCTED IN CONFORMANCE WITH 521 CMR "ARCHITECTURAL ACCESS BOARD" REGULATIONS. SHOULD ANY DISCREPANCIES BE DISCOVERED ON THESE DRAWINGS THAT MAY PREVENT FULL COMPLIANCE WITH SAID REGULATIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY BEFORE PROCEEDING WITH THE WORK.



PROPOSED STORM DRAIN ELEVATION TABLE								
STRUCTURE	RIM ELEV.	STRUCTURE ELEVATIONS			PIPE DATA			
		PENETRATIONS	INVERT	NOTES	FROM	TO	LENGTH (ft.)	SLOPE (%)
CB-1	498.0	8" DR18 OUT (DMH-1)	494.00		CB-1	DMH-1	69.7	1.50
DMH-1	497.7	8" DR18 IN (CB-1)	492.95					
		10" PVC IN (RR-1)	494.91					
		8" DR18 IN (CB-2)	492.95					
		12" HDPE OUT (DMH-2)	492.85		DMH-1	DMH-2	66.0	2.00
CB-2	497.3	8" DR18 OUT (DMH-1)	493.30		CB-2	DMH-1	23.0	1.50
DMH-2	497.3	8" DR18 IN (CB-3)	492.55	WQ-1 (STC 450)				
		12" HDPE IN (DMH-1)	491.49					
		12" DR18 OUT (EXISTING PARK AVE)	491.39		DMH-2	PARK AVE	92.7	2.83
CB-3	496.8	8" DR18 OUT (DMH-2)	493.13		CB-3	DMH-2	36.4	1.59
RR-1	497.8	10" PVC IN (ROOF LEADERS)	495.50					
		10" PVC OUT (DMH-1)	495.30		RR-1	DMH-1	19.5	2.00

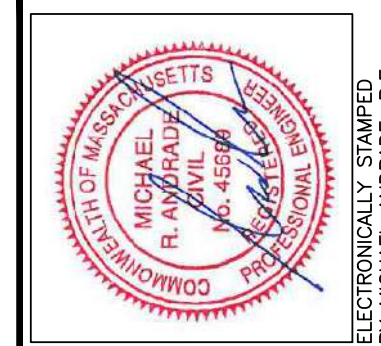
DRAINAGE TABLE KEY:

INV.: PIPE INVERT ELEVATION  
 ID: INSIDE DIAMETER  
 CB-#: CATCH BASIN-NUMBER  
 DMH-#: DRAIN MANHOLE-NUMBER  
 HDPE: HIGH DENSITY POLYETHYLENE DRAINAGE PIPE  
 PVC: SCH40 PVC PIPE  
 DI: DUCTILE IRON  
 TBD: TO BE DETERMINED  
 WQU-1: STORMWATER WATER QUALITY UNIT, STORMCEPTOR 450i OR ENGINEER APPROVED EQUAL  
 RR: ROOF RUNOFF STORMWATER TANK  
 DR18: DR-18 PVC PIPE (BLUE BRUTE OR EQUAL)



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**GRADING & DRAINAGE PLAN**  
**PARK AVENUE GREEN LIVING - MIXED-USE DEVELOPMENT**  
 487 PARK AVENUE, WORCESTER, MA

PREPARED FOR: OLSI G/INKO  
 487 PARK AVENUE, WORCESTER, MA 01603

DATE: 03/25/24 SCALE: 1"=20'  
 DES. BY: DFS  
 DRW. BY: DFS  
 CHK. BY: MRA  
 PRL. NO.: 23125

### SHEET NOTES

- 1) PRIOR TO WORK, THE CONTRACTOR SHALL VERIFY THE DEPTH OF COVER OVER THE EXISTING UNDERGROUND UTILITIES IN THE AREA OF THE PROPOSED WORK. IF ADEQUATE COVER IS NOT PRESENT TO THE PROPOSED FINISH GRADES, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER IMMEDIATELY BEFORE BEGINNING WORK IN THIS AREA.
- 2) UTILITY MATERIALS, CONSTRUCTION, & TESTING SHALL COMPLY WITH THE WORCESTER DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS, LATEST EDITION.
- 3) THE CONTRACTOR SHALL COORDINATE THE UTILITY WORK WITH THE PROPOSED BUILDING PLANS.
- 4) ALL UTILITY WORK SHALL BE COORDINATED BY THE CONTRACTOR WITH THE PROPER UTILITY COMPANIES.
- 5) THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING WATER AND SEWER SERVICE UTILITIES. IF CONFLICTS ARE FOUND THAT PROHIBIT THE INSTALLATION OF THE UTILITIES AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY BEFORE PROCEEDING WITH THE WORK.
- 6) NEW CATCH BASIN FRAMES AND GRATES SHALL BE CITY STANDARD (MODEL: EJIW 7288Z1 (3-FLANGE), 7288Z (4-FLANGE), OR LEBARON LF288 CAST IRON FRAME & EJIW 7288M OR LEBARON L28SG1 CAST IRON GRATE.
- 7) EXISTING WATER AND SEWER UTILITIES SHALL REMAIN.
- 8) THE SITE CONTRACTOR SHALL COORDINATE WITH AND PROVIDE NECESSARY EXCAVATION FOR ELECTRICAL CONDUIT BETWEEN THE BUILDING AND SITE LIGHTING LOCATIONS.

### LIGHTING NOTES

- 1) PHOTOMETRIC INFORMATION BASED ON COOPER LIGHTING SOLUTIONS GALN GALLEON MODEL GALN-SA4D-730-1-SL3 LED FIXTURE MOUNTED AT A HEIGHT OF 15 FEET AGL. COLOR TEMPERATURE = 3,000K.
- 2) THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND PROVIDE ALL NECESSARY WORK FOR UNDERGROUND ELECTRICAL WIRING AND CONDUITS FOR PROPOSED LIGHTING.
- 3) FC = FOOTCANDLE
- 4) PROPOSED BUILDING WALL PACK LIGHT FIXTURES ARE NOT SHOWN.
- 5) ALL LIGHT FIXTURES SHALL BE DARK SKY COMPLIANT.

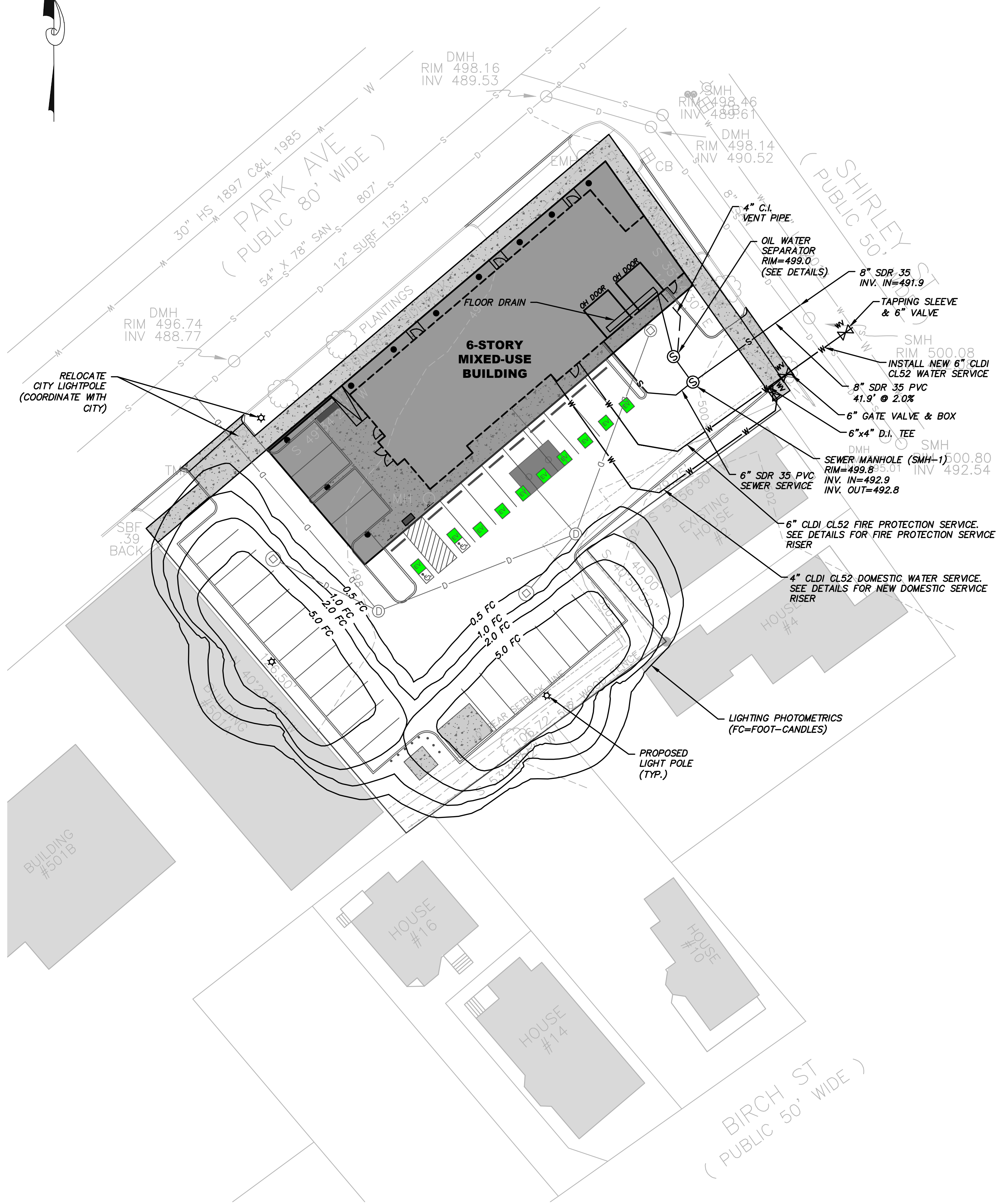
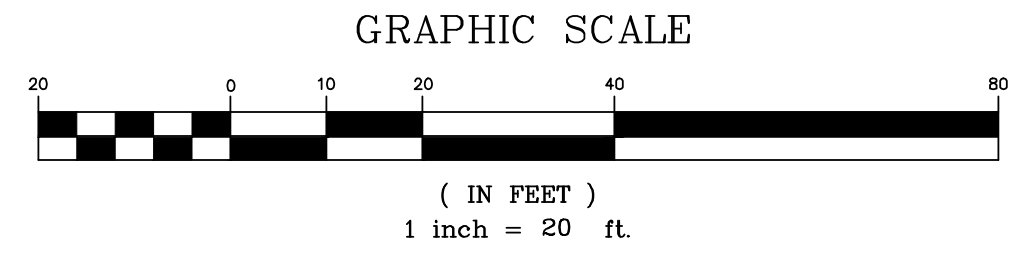
**Dimensional Details**

Number of Light Spheres	"A" Width	"B" Standard Arm Length	"C" Extended Arm Length	"D" Old Arm Length	"E" Old Length	"F" OMA Length
1-4	15-1/2"	7"	10"	10-5/8"	-	16-9/16"
5-6	21-5/8"	7"	10"	10-5/8"	-	16-9/16"
7-8	27-5/8"	7"	13"	10-5/8"	10-5/16"	-
9-10	33-3/4"	7"	16"	10-5/8"	10-5/16"	-

**McGraw-Edison** **GLEON Galleon**

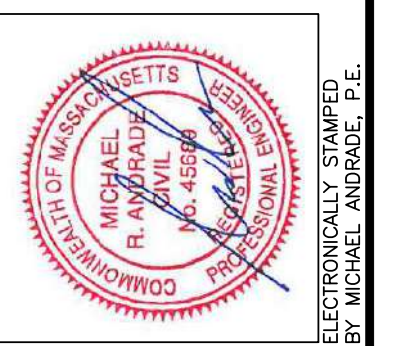


LIGHT POLE FIXTURE NOTES



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**UTILITIES PLAN**  
**PARK AVENUE GREEN LIVING - MIXED-USE DEVELOPMENT**  
 487 PARK AVENUE, WORCESTER, MA

PREPARED FOR: OLSI G/INKO  
 487 PARK AVENUE, WORCESTER, MA 01603

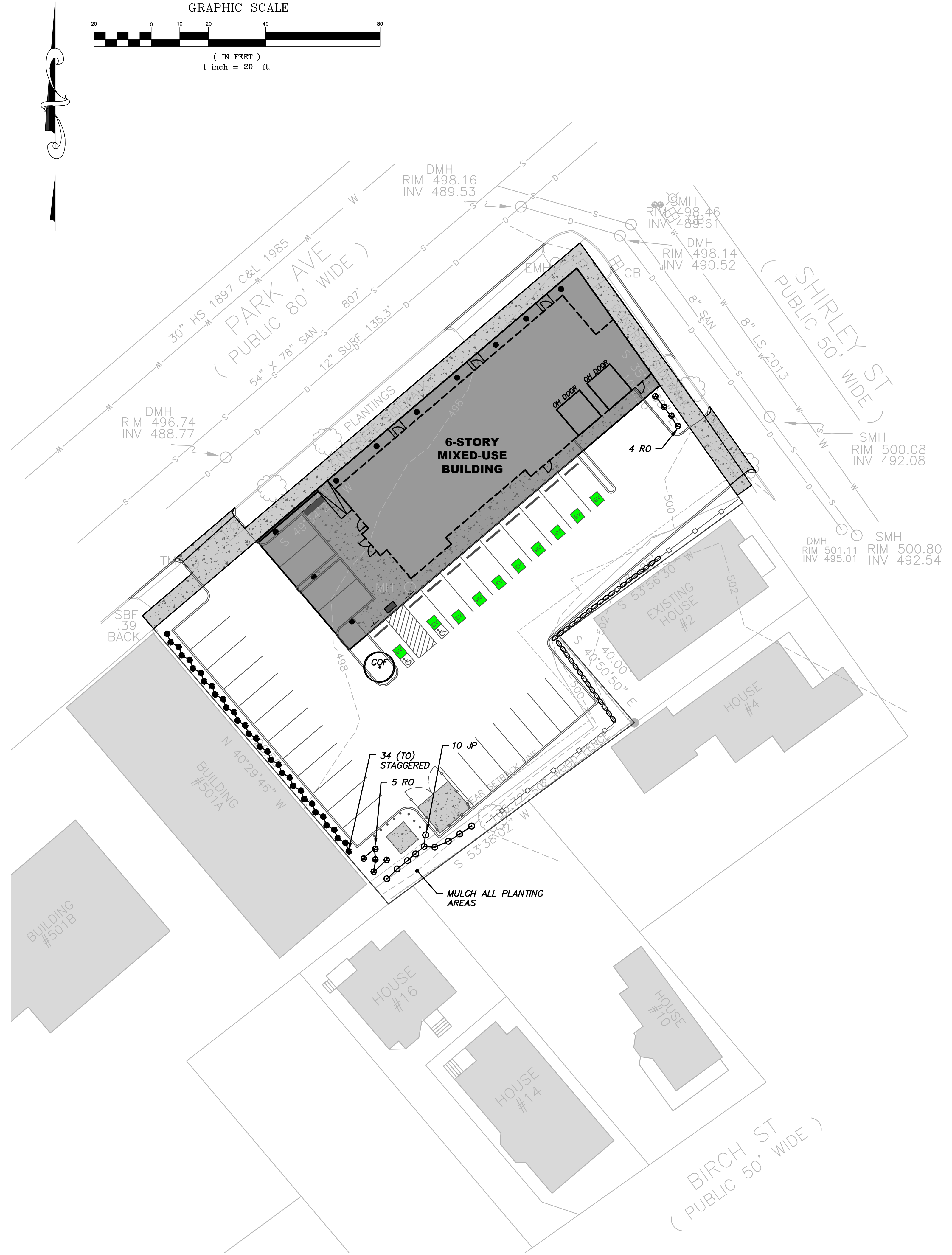
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SHEET NOTES

- 1) ALL PLANTINGS SHALL BE ASIAN LONGHORN BEETLE AND EMERALD ASH BORER RESISTANT, NON-HOST SPECIES. SPECIES NOTED ON THIS PLAN MAY BE SUBSTITUTED WITH THE APPROVAL OF THE ENGINEER.
- 2) ALL PLANTINGS SHALL BE WATERED AND FERTILIZED AS NECESSARY UNTIL ESTABLISHED. THE CONTRACTOR SHALL INSTALL A SLOW-RELEASE WATERING BAG AT EACH TREE PLANTING.
- 3) TREES SHALL BE SUPPORTED BY TEMPORARY STAKING AS NECESSARY UNTIL ESTABLISHED.

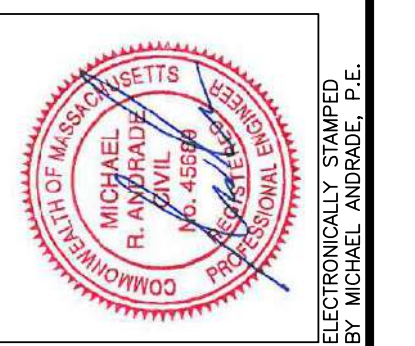
PLANTING LIST

CODE	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
<b>ORNAMENTAL TREES</b>					
COF	1	CORNUS FLORIDA	FLOWERING DOGWOOD	3" CAL.	⊙ 6" ABOVE GROUND
<b>SHRUBS</b>					
TO	34	T. OCCIDENTALIS SMARAGD	EMERALD GREEN ARBORVITAE	4'-5' HT.	PLANT WHERE SHOWN; 24"-36" O.C.
RO	9	RHODODENDRON 'ROBLEZA'	AUTUMN BONFIRE	2' HT.	3 GALLON
JP	10	JUNIPERUS HORIZONTALIS	BLUE RUG JUNIPER	2' HT.	2 GALLON



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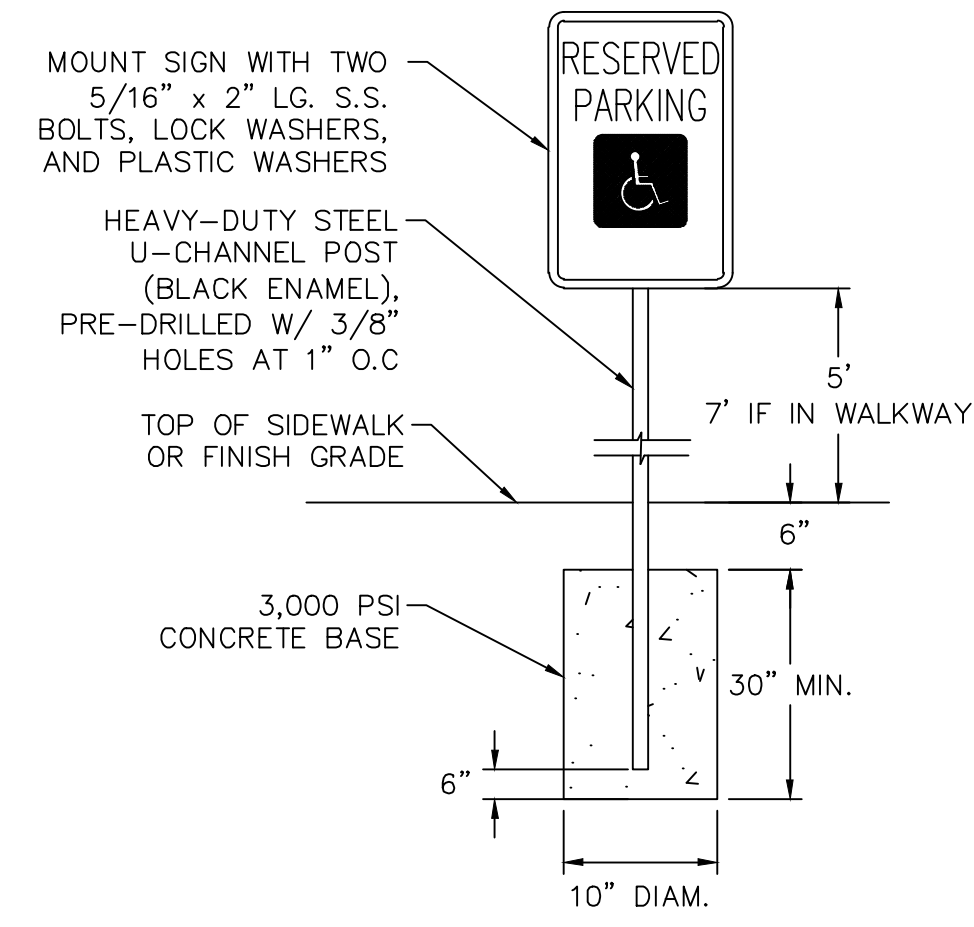


**LANDSCAPE PLAN**  
**PARK AVENUE GREEN LIVING - MIXED-USE DEVELOPMENT**  
487 PARK AVENUE, WORCESTER, MA

PREPARED FOR: OLSI G/INKO  
487 PARK AVENUE, WORCESTER, MA 01603

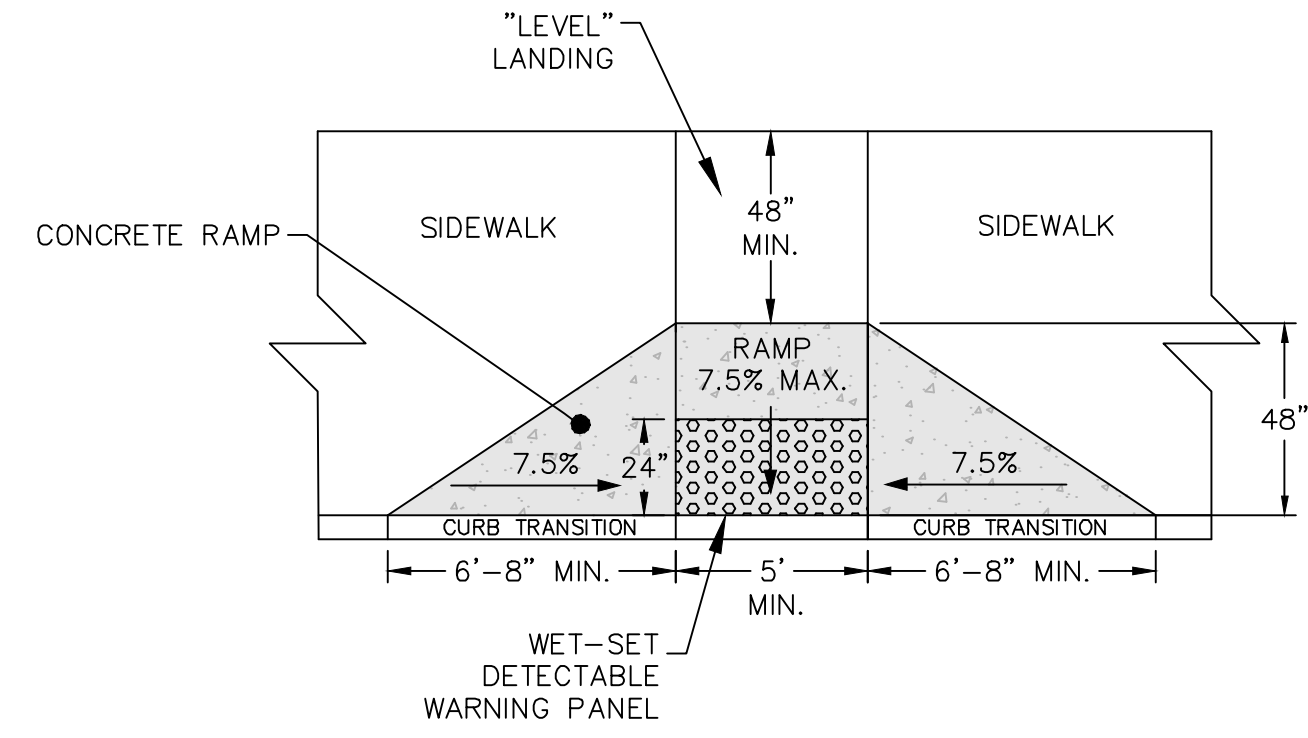
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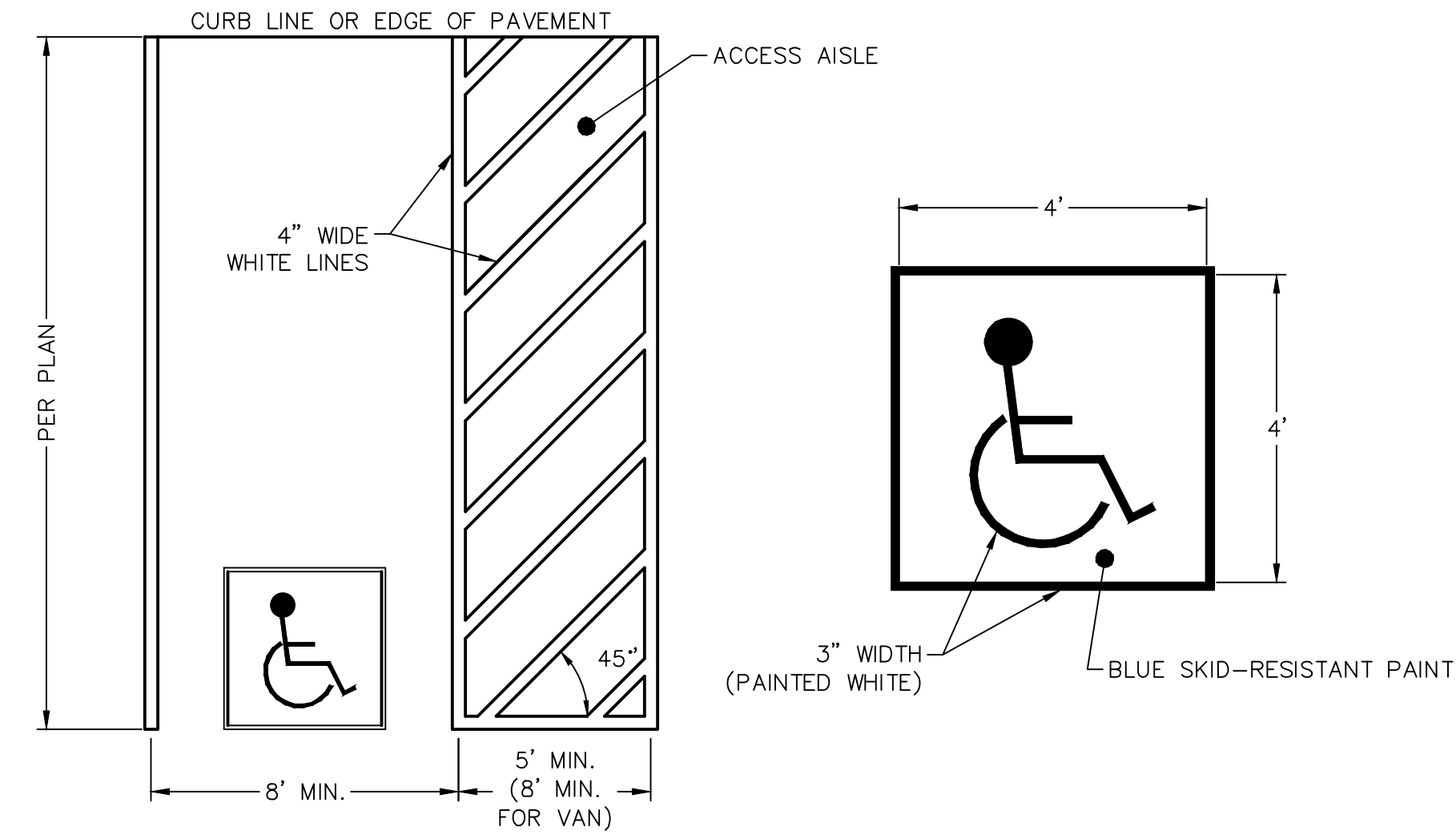
**SIGN** NTS

**NOTE:**  
1) THIS DETAIL APPLIES TO THE CONSTRUCTION OF ALL PROPOSED SIGNS; (SIGN TYPE AND DIMENSIONS MAY VARY FROM THOSE SHOWN). HANDICAP VAN ACCESSIBLE PLACARD SHALL BE MOUNTED DIRECTLY BELOW PRIMARY SIGN.



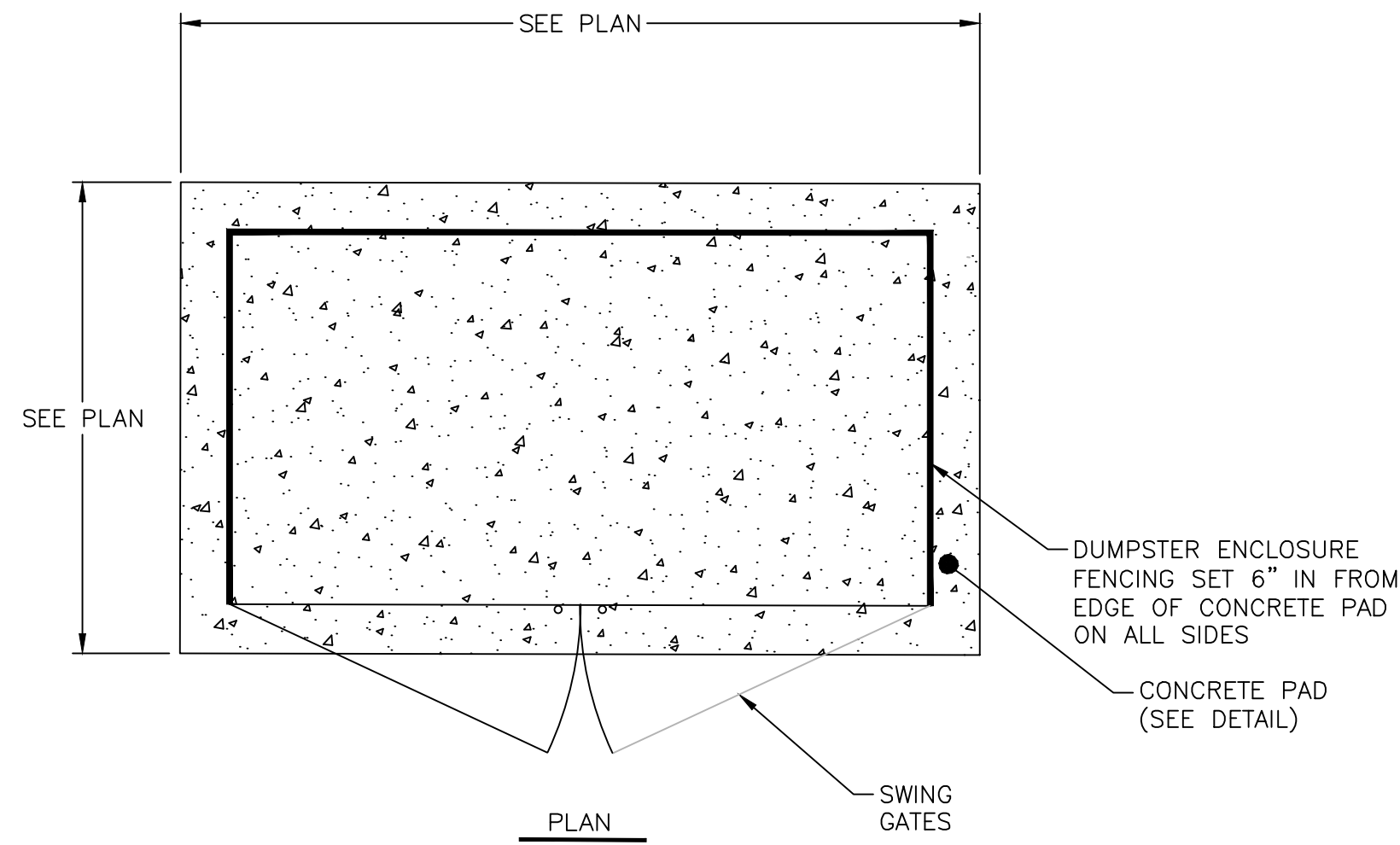
**CONCRETE CURB CUT WHEELCHAIR RAMP** NTS

**NOTES:**  
1) FOR SIDEWALKS PART OF AN ACCESSIBLE ROUTE, THE MAXIMUM ALLOWABLE RUNNING SLOPE SHALL BE 4.5% AND THE MAXIMUM ALLOWABLE CROSS SLOPE SHALL BE 1.5% (1.0% MIN.).  
2) "LEVEL LANDING" SHALL BE SLOPED NO MORE THAN 1.5% IN ANY DIRECTION (1.0% MIN. FOR CROSS SLOPE).  
3) A "LEVEL LANDING" 48" MIN. IN LENGTH MUST BE PROVIDED AT THE TOP OF EACH RAMP.

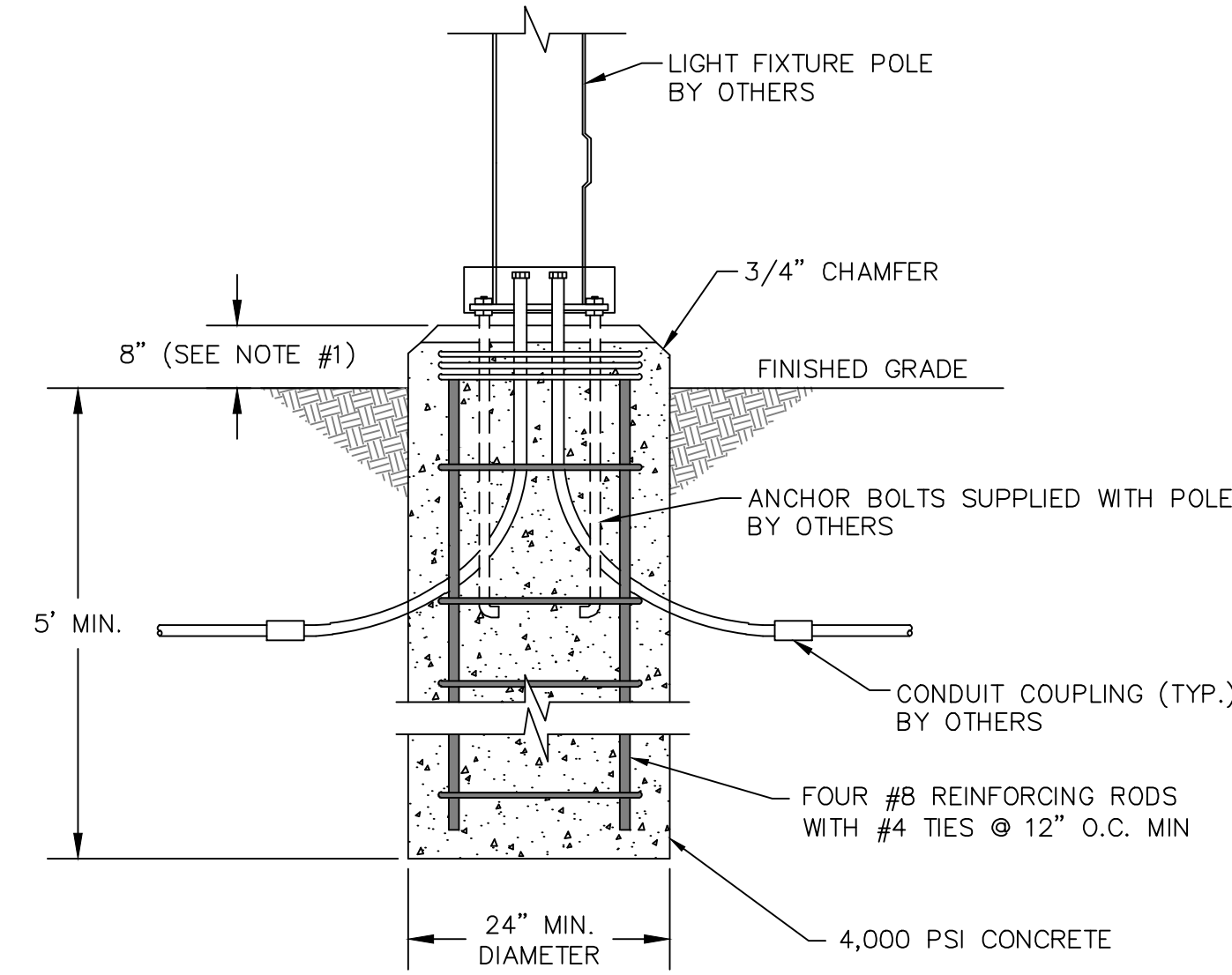


**HANDICAP PARKING SPACE** NTS

**NOTE:**  
1) PAVEMENT MARKINGS SHALL BE PAINTED WITH WHITE TRAFFIC PAINT CONFORMING TO SECTION M7.01.08 OF THE MASSDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION. LINE WIDTH SHALL BE 4 INCHES. HANDICAP SYMBOL MARKINGS SHALL COMPLY WITH 521 CMR WITH WHITE SYMBOL ON BLUE BACKGROUND.

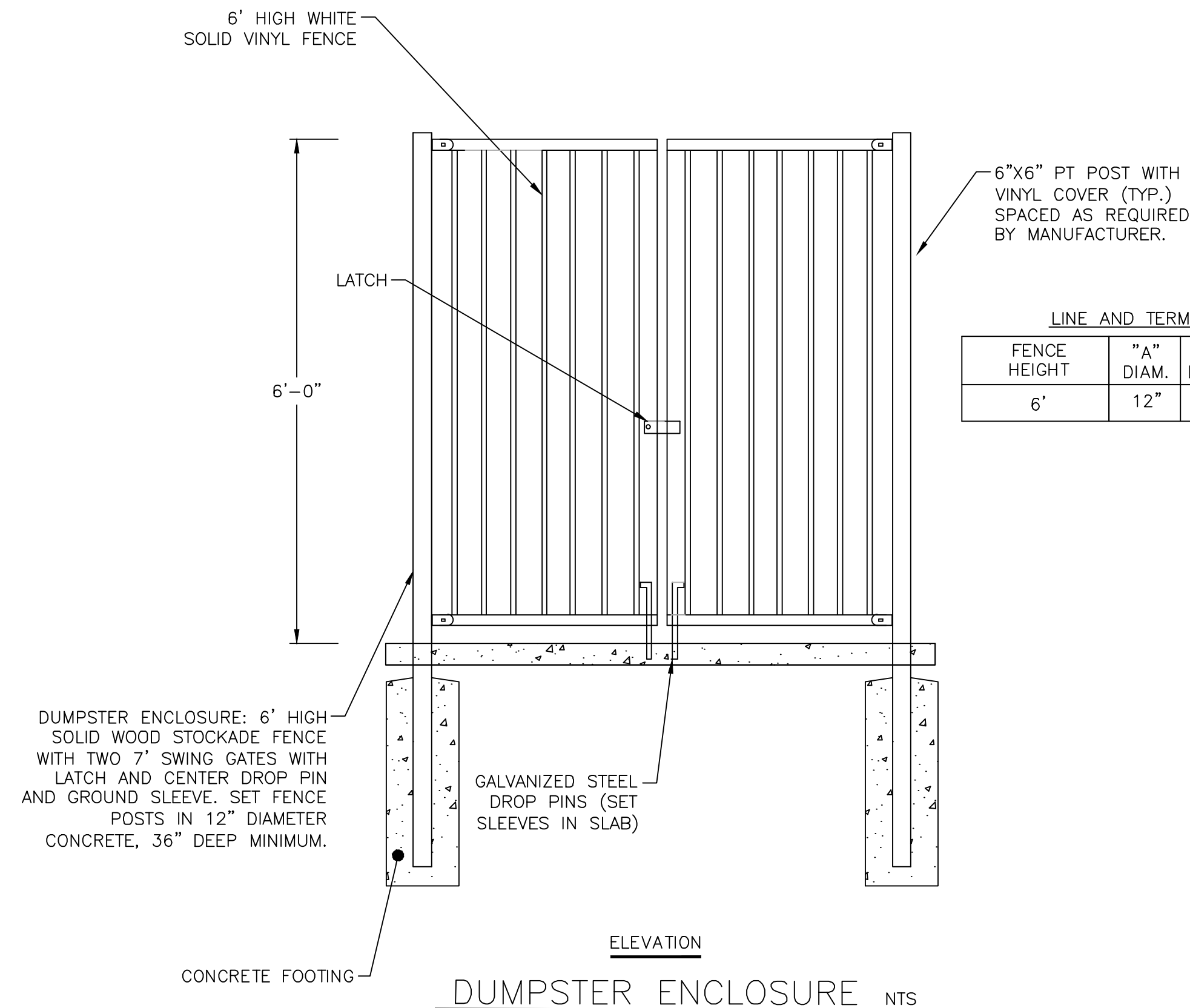


**PLAN**



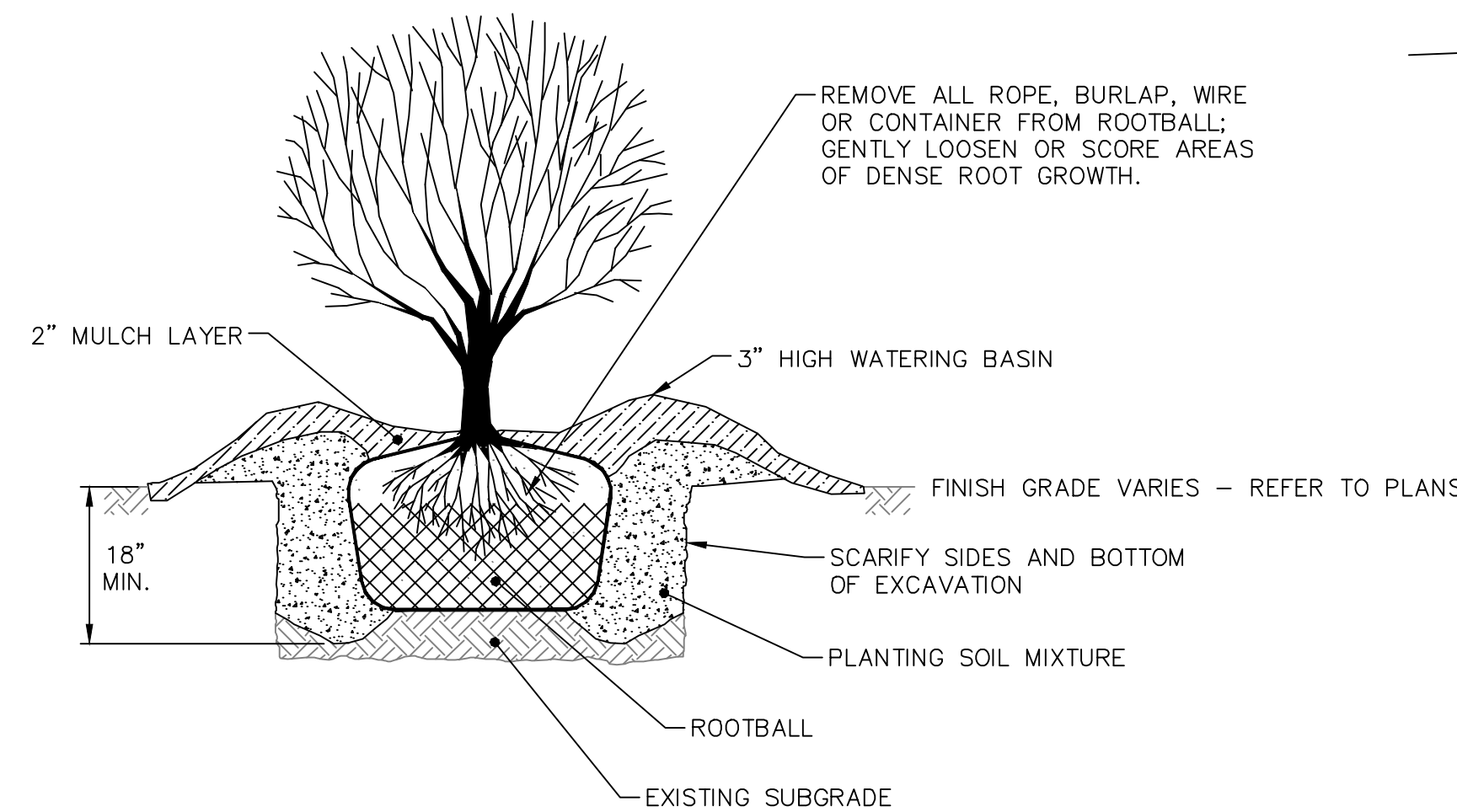
**LIGHT POLE BASE** NTS

**NOTES:**  
1) INCREASE EXPOSED HEIGHT TO 30" IN AND ADJACENT TO VEHICULAR TRAFFIC AREAS.  
2) CONTRACTOR SHALL COORDINATE WITH ELECTRICAL PLANS AND CONTRACTOR FOR BOLTS AND BOLT PATTERN FOR LIGHT POLE ANCHOR BOLTS.



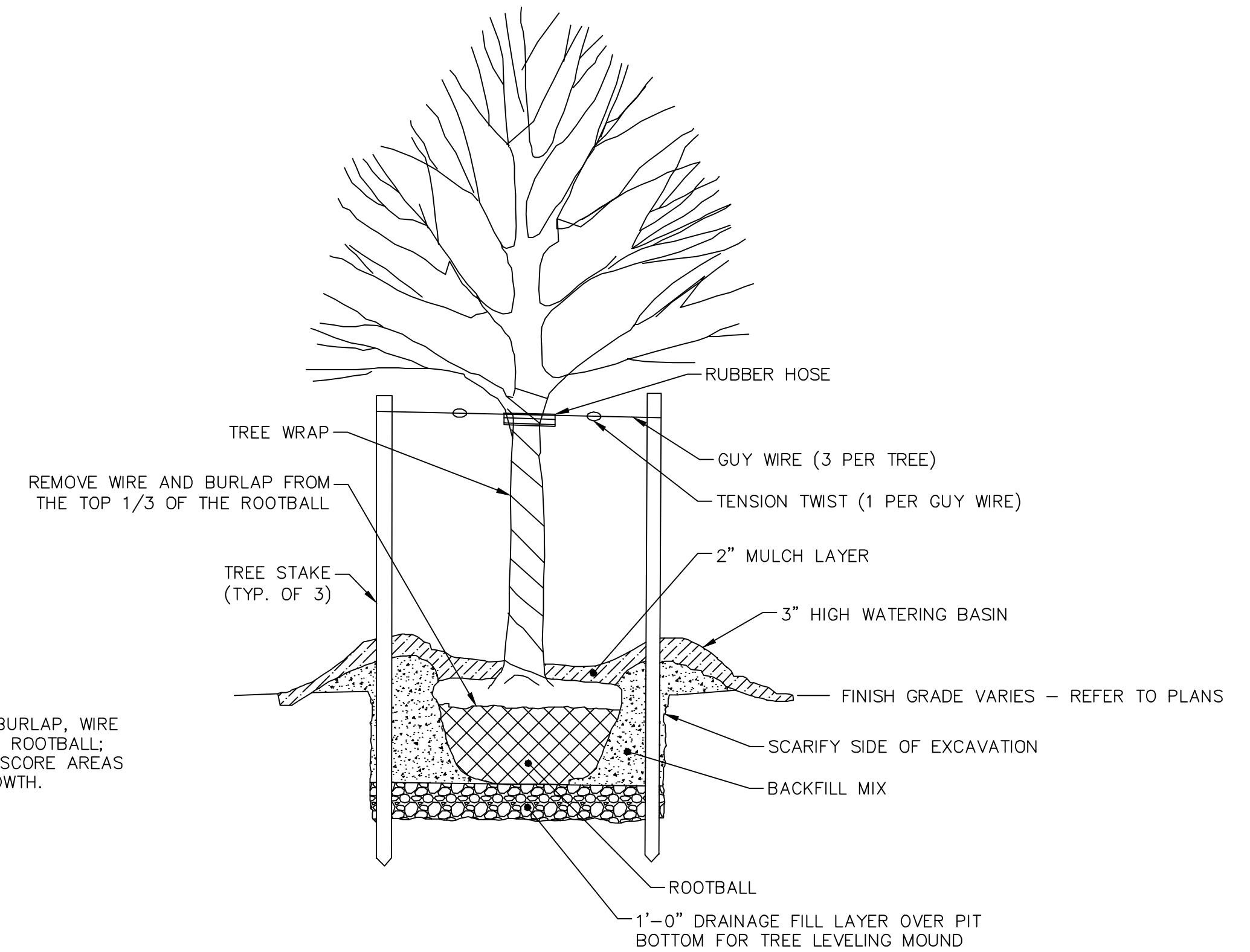
**DUMPSTER ENCLOSURE** NTS

LINE AND TERMINAL POSTS			
FENCE HEIGHT	"A" DIAM.	"B" DEPTH	"C" POST EMBEDMENT
6'	12"	48"	45"



**SHRUB PLANTING** NTS

**NOTE:**  
1) SET SHRUB ROOT CROWN FLUSH TO 2" HIGHER THAN FINISH GRADE.



**TREE PLANTING** NTS

**NOTES:**  
1) SET TREE ROOT CROWN 2" ABOVE FINISH GRADE.  
2) DO NOT PLACE SOIL OVER ROOTBALL.

NO.	DATE	BY	DESCRIPTION
1	03/25/24	DFS	ISSUED FOR PERMITTING

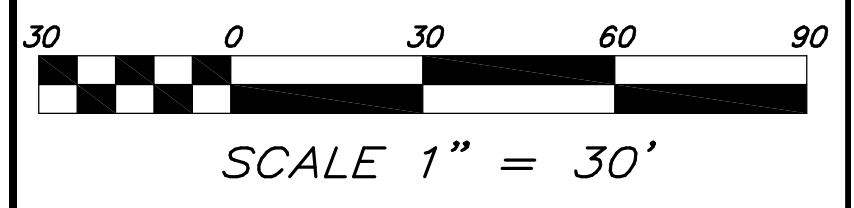
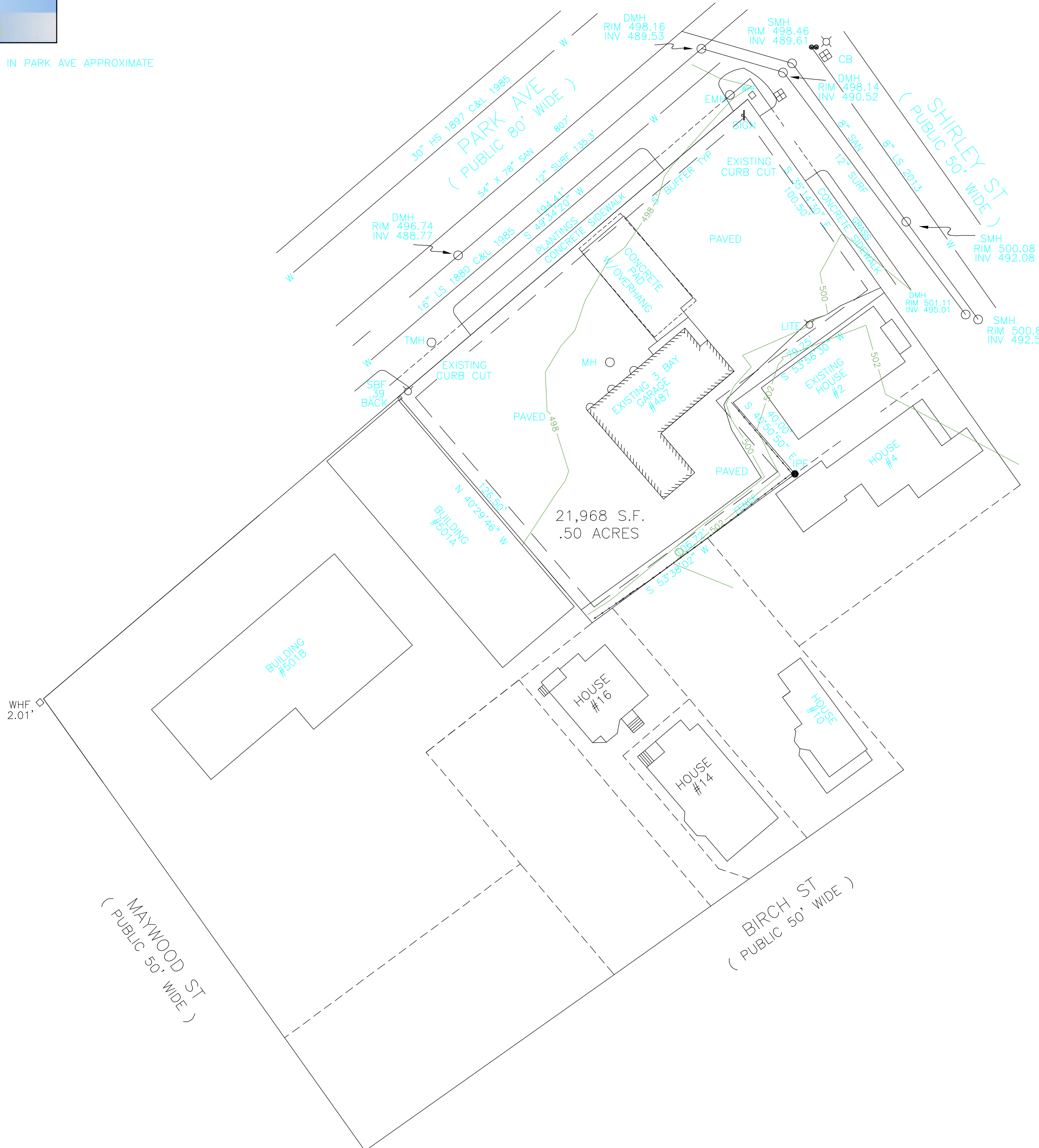








NOTE : WATER LINES IN PARK AVE APPROXIMATE

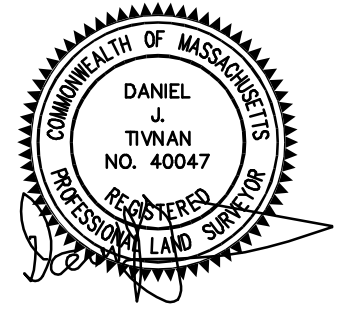


ASSESSOR REFERENCE(S):  
409-43

PLAN REFERENCE(S):  
409-43

DEED REFERENCE(S):  
9088-208

THIS PLAN SHOWS THE PROPERTY LINES THAT ARE THE LINES OF EXISTING OWNERSHIPS AND THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW LINES FOR DIVISION OF OWNERSHIP OR FOR NEW WAYS ARE SHOWN.



THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

**his&t group, inc**  
 PROFESSIONAL CIVIL ENGINEERS & LAND SURVEYORS  
 75 HAMMOND STREET - 2ND FLOOR  
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 PHONE: 508-757-4944 EMAIL: INFO@HSTGROUP.NET  
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**EXISTING CONDITIONS PLAN**  
 487 PARK AVE WORCESTER MA

APPLICANT(S)/OWNER(S):  
 OLSI GJINKO  
 487 PARK AVE WORCESTER MA

DATE: 08-28-23	COMP'D: DJT	FIELD: PS
SCALE: 1"=30'	CAD: DJT	FLD. BK: 620-28
ZONE: BG-3.0	REV'D:	PARK487PL

JOB NUMBER: 7876  
 DWG NUMBER: 5608

SHEET NUMBER  
**1** OF **1**